

Council Meeting Minutes
Town Hall
May 16, 2023
7:00 p.m.

Council Members
Present:

Luis Gomez
Dynette Lewis
Sandra McMurray Jackson
Shelisa McCall
Alicia Johnson

Others Present:

Leslie Howington, Town Clerk
Kevin Merchant, Superintendent
Dale Long, Engineer
Robin Phillips, CDBG Grant Writer
Ben Townes, Architect

Council President Luis Gomez confirmed the advertisement of the Bill List Review and Council Meeting, and at 7:00 p.m. called the meeting to order.

1. Open Meeting with Prayer

Town Clerk Leslie Howington prayed.

2. Pledge of Allegiance

3. Roll Call

All Council Members were present.

4. Public Forum

Alex Scanlon from Escambia River Electric Co-Op (EREC) appeared before the Council and requested an easement at Fischer Landing for EREC'S fiber optic project.

Council Member Dynette Lewis made a motion to approve the easement and authorize Mayor Boutwell to sign. Council Member Alicia Johnson seconded the motion. There were no questions. The motion passed unanimously.

5. Ministerial Acts

- a. Approval of Minutes
 - o May 02, 2023 Bill List Review Minutes
 - o May 02, 2023 Council Meeting Minutes
 - o May 11, 2023 Council Meeting Minutes
- b. Approval of Bill List
 - o May 16, 2023 Bill List

Ms. Howington noted that the time on the Minutes of the Meeting of Thursday, May 11, 2023 had been corrected from 9:30 p.m. to 9:30 a.m.

Council Member Alicia Johnson made a motion to approve the Ministerial Acts. Council Member Sandra McMurray Jackson seconded the motion. There were no questions. The motion passed unanimously.

6. Dale Long Phase II Loan Agreement with SRF

Dale Long stated that we have received the agreement for the State Revolving Fund loan and requested authorization for Mayor Boutwell to sign it. Mr. Long listed details of the Phase II Wastewater Project:

- 8 Lift Station Rehabs
- 2 Lift Station Replacements
- Prison Lift Station Rehab Including Bar Screen and By-Pass Pump
- Miscellaneous WWTP Improvements Including Sludge Screw Pres

The total amount awarded is \$8,865,336. Of that, the estimated amount of principal forgiveness is \$7,978,802. The estimated principal amount of the Loan to be repaid is \$888,134, which consists of \$886,534 to be disbursed to the Local Government and \$1,600 of Capitalized Interest.

Council Member Sandra McMurray Jackson made a motion to approve the State Revolving Loan Agreement with State of Florida for Phase II of the Wastewater Project and to authorize Mayor Boutwell to sign the agreement. Council Member Alicia Johnson seconded the motion. There were no questions. The motion passed unanimously.

7. Dale Long Grant Spreadsheet Update

Dale Long presented an updated spreadsheet of the grants. (Copy attached and incorporated herein by reference.) The top part is what has been funded. Next comes those grants that have been approved and are pending. Finally the spreadsheet covers those that are grants pending final approval by the Governor.

Item #2 on the list is the Phase II that was just approved for the SRF loan.

Dale invited questions including format questions on the spreadsheet.

The Council clarified that the full \$3.255 million CDBG-CV grant is for both projects. It could be that the entire amount goes to one Community Center depending on Council's decision.

Council Member Dynette Lewis asked about the Gym Hurricane Sally project. Ms. Phillips shared that the application has been submitted.

Sparkie Harrison advised that the Pensacola State College Board Meeting on April 18th was not held because of lack of quorum. They are meeting tonight on budgeting and do not expect it to be brought up.

Freedom Road Bridge has made it past Sen. Broxson and Rep. Salzman and is in the budget that was presented to the Governor. It is now pending Governor approval. Dale expects notification of the Governor's budget in July.

Additionally, USDA funding is requested for the prison well.

Council Member McCall requested a progress report on the grants. Mr. Long shared that this quarter just ended and the reports are not submitted yet.

Ms. Phillips provided the progress report on the CDBG-CV projects.

Council Member McCall asked for an update on the pavement project on Century Blvd. Mr. Long explained that it is a State project. The only work the Town is doing is locates. The water lines were not unknown as reported; they were unintentionally exposed by the machinery and broke. Any time there is a leak, the contractor contacts staff, Mayor or Mr. Long.

Council President Gomez asked for an expected date for shovels in the ground at Pilgrim Lodge. Mr. Long suggested June 1st.

8. Robin Phillips CDBG-CV Grant – Carver Community Center

Robin Phillips stated the Council has received the reports from the inspector and introduced Ben Townes.

Architect Ben Townes shared the Nova Engineering and Environmental Services report. (Copy attached and incorporated herein by reference.) Good news: no asbestos in the building; however, there is lead in the building. The building is 90% wood. He read the list of areas covered with lead based paint. It is the majority of the building. It is very hazardous, especially to children.

InterTech PSI performed the structural review of the building. The main concern was wood rot and termites. Terminix did an assessment. Their report stated “a lot” of termite damage. The InterTech summary was more precise. (Copy attached and incorporated herein by reference.) The inspector believes the appraised value of replacement is over 50% of the value of the building.

Mr. Townes presented a rendering of a new Carver Community Center. (Copy attached and incorporated herein by reference.) The new one is not as large because of the cost per square foot on a 7,000 square building.

The Council will hold Workshops to gain community input. It was decided to receive proposed dates from Mr. Townes so he can hear the community input firsthand.

9. Staff Report

Town Clerk Leslie Howington had nothing to report.

Street Superintendent Kevin Merchant shared that the ice machine and fridge are in.

At McMurray Park someone ripped electrical off and we should have it put back together.

The quote for the lights at the Century Business Center would be around \$1,150. That covers all equipment. Staff does not have the time available to put it up. Staff could put it up, but not in Dr. Griffin’s time frame.

Mr. Merchant requested an amount not to exceed \$1,150 to purchase the equipment. Council President Gomez confirmed that ARPA Funds are available.

Council Member Alicia Johnson made a motion to purchase lights for the Century Business Center in an amount not to exceed \$1,150 to be paid from ARPA Funds. Council Member Sandra McMurray Jackson seconded the motion. No questions. The motion passed unanimously.

Mr. Merchant agreed that his team can install the new lights as soon as they get back to normal work weeks. They have been prepping parks for events. Council President Gomez stated that the Marie McMurray Park looks great.

Council President Gomez confirmed that power will not be cut off because he has meat in the freezer for the Block Party. Mr. Merchant confirmed not until the end of the project.

10. Proclamation Honoring Community Action Committee

Council Member Sandra McMurray Jackson read the Proclamation. Council President Luis Gomez shared that Ms. Judy Dickerson from Community Action Committee was unable to attend. Ms. Howington will ensure they receive the Town's Proclamation. (Copy attached and incorporated herein by reference.)

11. Council Comments

Council Member Alicia Johnson had nothing to report.

Council Member Shelisa McCall Abraham thanked Mr. Merchant for clearing the shrubs at the Chamber Building and requested a demonstration on how to operate the outside lights. Mr. Merchant stated that the lights work off a photo cell. The sun controls them. He will meet with Ms. McCall.

Council Member Dynette Lewis had nothing to report.

Council Member Sandra McMurray Jackson had nothing to report.

Council President Luis Gomez stated hats off to the guys. Pond and Jefferson look immaculate for this weekend. Everyone is invited to the Block Party this Saturday. Mr. Robinson stated that one team practiced, and there are no basketball nets. Council President Gomez will donate them. There will be plenty of giveaways for the teams.

12. Public Forum

Kevin Merchant shared that at McMurray Park he has asked for six years for something to be done about the location of the basketball court. It is in the playing

field area of left field. It could be a trip hazard and the Town would be liable. It is dangerous. It needs to be dug up.

Mr. Merchant stated that at Showalter Park there is a tennis court that could be turned into a basketball goal. He has never seen anyone ever play tennis there.

Ms. Howington invited Council to task Mr. Merchant to get bids on tearing up the basketball court. Council President Gomez stated that most baseball is played at Showalter Park. Mr. Merchant guarded against waiting. It only takes one accident to create a tragedy.

Council Member Dynette Lewis would like to have the entire project completed while we have ARPA funds. Tear down and move.

Mr. Merchant will get bids on equipment and time versus hiring it done. Maybe even volunteers in the community will help.

Council Member Dynette Lewis requested that the quote include what it will take to have the new basketball court.

13. Adjourn

Council Member Dynette Lewis made a motion to dismiss. Council Member Sandra McMurray Jackson seconded the motion. No questions. The motion passed unanimously.

There being no further business the meeting adjourned at 8:37 p.m.

Respectfully submitted,

Leslie Howington, CMC, Town Clerk

JOB#_____

ESCAMBIA RIVER ELECTRIC COOPERATIVE, INC.
JAY, FLORIDA

RIGHT-OF-WAY EASEMENT

KNOWN ALL MEN BY THESE PRESENTS, that we, the undersigned Grantors, (whether one or more)

P.O. Address_____

City_____State_____Zip_____

In consideration of one dollar and other good and valuable considerations, the receipt of which is hereby acknowledged, do hereby grant, bargain, sell and convey to Escambia River Electric Cooperative, Inc., a Florida Corporation, of P.O. Box 428, Jay, Florida, 32565, hereinafter called the “Cooperative”, Its successors and assigns, a perpetual easement over, under, upon and across the lands and real property situate, lying and being in the County of _____, State of Florida, more particularly described as follows:

PARCEL IDENTIFICATION#_____

also, a perpetual easement over, under, upon and across all streets, alleys, easements and rights of way in any subdivision or recorded plat, which subdivision or recorded plat includes the said property described herein; also an easement or right-of-way over and through, on and under the property described herein, as the Cooperative shall require for the furnishing of utility service, or for the construction, extension, improvement, operation, maintenance or relocation of the Cooperative's poles, lines, fiber, and other materials and equipment of the Cooperative (“Cooperative’s Facilities”); also the right to construct, operate and maintain an electric distribution line or system, on or under the above described lands; the right to use and/or allow other of Cooperative’s agents, representatives or delegates to use this easement and Cooperative’s Facilities thereon for general communication and commercial public telecommunication purposes unrelated to furnishing electric service, this includes but is not limited to broadband services and fiber optic uses--including those made possible by future technological developments; the right to inspect and make such repairs, changes, alteration, improvements, and additions to the Cooperative’s Facilities as the Cooperative may from time to time deem advisable, including, by way of example, and not by the way of limitation, the right to increase or decrease the number of conduits, poles, wires, cables, hand holes, transformers, and transformer enclosures; the right to cut, trim and control the growth by chemical means, machinery or otherwise of trees and shrubberies that may interfere with or threaten or endanger the operation and maintenance of said line or system; the right to keep the easement clear of all buildings, structures or other obstructions except low-growing shrubbery that do not otherwise interfere with Cooperative’s use of the right-of-way easement; the right to license, permit, or otherwise agree to the joint use or occupancy of the lines, system, or if any of said system is placed underground, of the trench or related underground facilities by the Cooperative, or its agents, representatives or delegates ; and the right to enter upon, cross and use other lands of the Grantors to provide access to the easements granted herein.

The undersigned agree that all poles, wires, and other facilities including any main service entrance equipment, installed in, upon or under the above-described lands at the Cooperative’s expense, shall remain the property of the Cooperative, removable at the option of the Cooperative. The undersigned covenant that they are the owners, of the above-described lands. The grantors reserve the right to use the easement conveyed for general farming or pasture purposes, as long as such does not interfere with the Cooperative’s use of the easement conveyed hereunder.

Grantors agree that this right-of-way easement shall run with the land, and that any abandonment of the use of the easement, or interruption in the use of the right-of-way easement shall not terminate or impair the interests hereby conveyed to the Cooperative.

IN WITNESS WHEREOR, the Grantors have hereunto affixed their hands and seals this _____ day of _____,_____.

SIGNED, SEALED AND DELIVERED IN THE
PRESENCE OF:

INDIVIDUAL LAND OWNER(S)

SIGN NAME_____
PRINT NAME_____

SIGN NAME_____
PRINT NAME_____

SIGN NAME_____
PRINT NAME_____

SIGN NAME_____
PRINT NAME_____

PREPARED BY: Matt TaylorADDRESS 3425 Hwy 4 Jay Fl, 32565

STATE OF _____

COUNTY OF _____

The foregoing instrument was acknowledged before me this _____ day
of _____,_____ by _____
(Name of person acknowledging)

who is personally known to me or who produced _____
(Type of identification)

as identification and who did (did not) take an oath.

(SEAL ABOVE)

(Name of Notary typed, printed or stamped)

Notary Public Commission No. _____

The Southerly 30 feet of parcel number 40-5N-30-0000-00112-0000, along the Northerly Right of Way of Highway 4 Starting at the Southwest corner of said parcel and continuing East 1290 feet to the South most Southeast corner of said parcel.

This section lies within the Section as described as,

Commence at the Southeast corner of Section 4, Township 5 North, Range 30 West, Escambia County, Florida, said point being on the West line of Section 22, Township 5 North, Range 30 West; thence go S 00°17'54" W along said West line 301.06 feet to a point on the Northerly line of a parcel of land described in O. R. Book 4199, page 248 of the public records of said county, said line being the Northerly right of way line of State Road 4, thence go S 42°07'53" E along said Northerly line 197.62 feet to the Point of Beginning; thence continue S 42°07'53" E along said line 779.48 feet to a point known as Point "A", said point being S 07°15'42" W 526.62 feet from a point known as Point "B"; thence continue S 42°07'53" E along said Northerly line approximately 10 feet to the waters edge of Escambia River; thence go Northerly and Northwesterly along said waters edge of Escambia River and Escambia Creek approximately 728 feet to a point which is N 64°23'10" E approximately 3 feet from the aforesaid point "B"; thence departing said waters edge, go S 64°23'10" W approximately 3 feet to said Point "B"; thence continue S 64°23'10" W 63.50 feet; thence go N 25°36'50" W 169.60 feet; thence go S 51°36'45" W 207.18 feet; thence go N 85°36'16" W 301.93 feet to the Point of Beginning. The above-described parcel of land contains approximately 5.0 acres

Town of Century
Grant Summary Sheet
4/17/2023

No.	Grant Name	Scope of Work	Phase of Work	Primary Funding Source	Grant Amount	Town of Century Amount	Escambia County Contribution	Total Project Cost	Status
AWARDED FUNDING									
1	Miscellaneous Wastewater Improvements - Phase I	Pilgrim Lodge and Industrial Park LS Rehab	Construction	CDBG-NR - Florida DEO and Escambia County	\$651,864.00	\$0.00	\$298,000.00	\$943,900.99	Material Submittals have been approved and materials have been ordered. Start Date - 3-6-2023, completion date 1-30-2024.
2	Miscellaneous Wastewater Improvements - Phase II	8 LS Rehabs, 2 LS Replacements, Prison LS Rehab Including Bar Screen and By-Pass Pump, and Misc. WWTP Improvements to Include Sludge Screw Press	Final Funding Approval	FDEP - SRF (90% PF, 10% Loan)	\$7,976,102.40	\$0.00	\$0.00	\$8,862,336.00	Approved by SRF, Loan Agreement Approved, awaiting receipt of completed loan agreement to be signed by Mayor. Anticipate bidding project in summer 2023.
3	Well Rehabilitation (Well No. 1, 2, & 3)	Well Rehabilitation	Design & Construction	State Legislature via FDEP	\$468,453.00	\$0.00	\$0.00	\$468,453.00	Design is nearing completion. Anticipate completion of Design and permitting in the 2nd quarter of 2023. Bidding and construction summer 2023.
4	Front Street Drainage Improvements	Re-Route stormwater off of private property onto public right-of-way	Construction	FEMA/Escambia County	\$0.00	\$0.00	\$993,312.98	\$993,312.98	Pre-Con May 1, 2023. Construction to begin May 2023.
5	Water Meter and Service Replacement	Replacement of water service lines and meters throughout the system	Final Funding Approval	State Legislature via FDEP	\$1,301,892.00	\$0.00	\$0.00	\$1,301,892.00	Approved by the Legislature, County is managing the agreement and they are awaiting final signatures on the Agreement. Expect authorization to begin design in the next month or two.
6	Carver Community Center	Renovate the Carver Community Center	Design	CDBG-CV - Florida DEO ¹	\$3,255,000.00	\$0.00	\$0.00	\$3,255,000.00	Survey, Geotechnical Engineering, Termite inspection, and Hazardous Materials investigation complete.
7	Century Community Center (Ag Bldg.)	Renovate the Century Community Center (Ag Bldg.)	Design						Survey, Geotechnical Engineering, Termite inspection, and Hazardous Materials investigation complete.
TOTALS =					\$13,653,311.40	\$0.00	\$1,291,312.98	\$15,824,894.97	
FUNDING APPLIED FOR									
1	Freedom Road Bridge	Replacement of Freedom Road Bridge	Applied - Design and Construction	State Legislature via FDOT	\$1,297,000.00	\$0.00		\$1,297,000.00	Should know if the project is funded by summer 2023.
2	Freedom Road Bridge	Replacement of Freedom Road Bridge - Design Only	Applied - Design	RAISE Grant	\$121,548.00	\$0.00		\$121,548.00	application submitted 2/24/2023
3	Freedom Road Bridge, Jefferson Avenue Culvert, & Alger Road Bridge	Replacement of Freedom Road and Alger Road Bridges and Repairs to Jefferson Ave Culvert	Applied - Design and Construction	CDBG-DR - Hurricane Sally	\$2,862,137.00	\$7,500.00		\$2,869,637.00	application submitted 4/14/2023
4	Gym/Hurricane Shelter	Repairs to Century High Gym or Construct New Shelter	Applied - Design and Construction	CDBG-DR - Hurricane Sally	\$10,015,000.00	\$7,500.00		\$10,022,500.00	application submitted 4/14/2023
5	Well #3 Replacement	Construction of New Well and lean-to at prison	Applied - Design and Construction	State Legislature via FDEP	\$1,252,000.00	\$0.00		\$1,252,000.00	Should know if the project is funded by summer 2023.
6	Well #3 Replacement	Construction of New Well and lean-to at prison	Applied - Design and Construction	USDA ECWAG	\$1,000,000.00	\$0.00		\$1,000,000.00	Under Review by USDA right now.
7	Water Meter and Service Replacement	Replacement of water service lines and meters throughout the system	Applied - Design and Construction	NWFWMD	\$1,653,746.00	\$1,301,892.00		\$2,955,638.00	Leveraged the Legislative Appropriation as a match for this Grant. Should know if the project is funded by summer 2023.
TOTALS =					\$18,201,431.00	\$1,316,892.00	\$0.00	\$19,518,323.00	

Definitions
CDBG - Community Development Block Grant
DEO - Department of Economic Opportunity
FDEP - Florida Department of Environmental Protection
WWTP - Wastewater Treatment Plant
LS - Lift Station
FEMA - Federal Emergency Management Agency
SRF - State Revolving Fund
NWFWMD - Northwest Florida Water Management District

Notes:
1 The two community centers are included as a single grant. The budget is for construction, grant admin and design. The financial split between the two projects will be dependent on the final bid prices.

HAZARDOUS MATERIALS SURVEY REPORT



CENTURY AND CARVER COMMUNITY CENTERS Century, Escambia County, Florida

PREPARED FOR:

Town of Century
7995 North Century Boulevard
Century, Escambia County, Florida

PREPARED BY:

NOVA Engineering & Environmental
140 A Lurton Street
Pensacola, Escambia County, Florida

NOVA Project Number: 10116-3022084

January 16, 2023



January 16, 2023

TOWN OF CENTURY

7995 North Century Boulevard
Century, Escambia County, Florida

Attention: Mr. Benjamin Boutwell

Subject: Hazardous Materials Survey Report
CENTURY AND CARVER COMMUNITY CENTERS
Century, Escambia County, Florida
NOVA Project Number: 10116-3022084

Dear Mr. Boutwell:

NOVA Engineering and Environmental LLC (NOVA) has completed the Hazardous Materials Survey for the Century and Carver Community Centers located in Century, Escambia County, Florida. We appreciate your selection of NOVA and for the opportunity to be of service on this project. Please feel free to contact us if you have any questions or if we may be of further assistance.

Sincerely,
NOVA Engineering and Environmental LLC

A handwritten signature in blue ink, reading "Sarah A. Battaglia". The signature is fluid and cursive, with the first name "Sarah" being more prominent.

Sarah A. Battaglia, M.A., RPA
Senior Consultant

A handwritten signature in blue ink, reading "Larry G. Schmaltz". The signature is more stylized and less legible than the one on the left, with a long horizontal stroke at the end.

Larry G. Schmaltz, P.E., G.C.
Florida Licensed Asbestos Consultant
(#AX009)
USEPA Licensed Lead Risk Assessor

A handwritten signature in blue ink, reading "Daniel McGimsey". The signature is cursive and somewhat stylized, with the first name "Daniel" being more prominent.

Daniel McGimsey
Accredited Asbestos Inspector
USEPA Licensed Lead Inspector

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TABLES

TABLE 1 ASBESTOS BULK SAMPLE ANALYTICAL RESULTS SUMMARY

TABLE 2 LEAD BASED PAINT RESULTS SUMMARY

LIST OF APPENDICES

APPENDIX A – ASBESTOS BULK SAMPLE LABORATORY ANALYTICAL REPORTS AND CHAIN OF CUSTODY RECORDS

APPENDIX B – CERTIFICATIONS

1.0 SUMMARY

NOVA has completed a Hazardous Materials Survey for the Century and Carver Community Centers located in Century, Escambia County, Florida. The community centers were surveyed to identify suspect asbestos containing materials (ACM), lead-based paint (LBP), and visual hazardous materials (HM).

All work was performed in general accordance with NOVA Proposal Number 016-30225963, dated November 07, 2022, the Asbestos Hazard Emergency Response Act (AHERA) and ASTM E2356-18, "Standard Practice for Comprehensive Building Asbestos Survey".

A summary of our findings is presented below. This summary is provided for convenience and should not be substituted for review of the full report, including all attachments as provided herein.

1.1 ACM SURVEY SUMMARY

The purpose of this survey was to identify and document accessible and/or exposed building materials within the community centers that would likely contain or commonly contain asbestos.

The U.S. Environmental Protection Agency (EPA) considers a building material to be asbestos containing if at least one sample of this material contains greater than one percent (>1%) asbestos when analyzed by Polarized Light Microscopy (PLM).

Asbestos was not identified in the samples collected from the Century and Carver Community Centers.

A summary of the bulk sample asbestos results is provided as Table 1.

1.2 LBP SURVEY SUMMARY

In 1978, the Consumer Product Safety Commission banned the sale of lead-based paint to buyers and its application to areas where individuals would have direct access to painted surfaces. Because of this ban, buildings painted prior to 1978 are suspected of containing leaded paint.

The Lead-Based Paint Poisoning Prevention Act, Section 302, EPA 40 Code of Federal Regulations (CFR) 745 and the U.S. Department of Housing and Urban Development (HUD) define LBP as any coating having 1.0 mg/cm² or greater lead when tested by an X-Ray Fluorescence (XRF) device or 0.5% lead by weight with laboratory analysis of paint chip samples.

Century Community Center (6001A Industrial Blvd.)

Lead coated materials and/or materials containing lead were not identified by XRF in the Century Community Center.

Carver Community Center (7040 Jefferson Avenue)

Lead coated materials and/or materials containing lead were identified by XRF in the Carver Community Center.

The following components exhibited XRF readings of 1.0 mg/cm² or greater:

- Doors and Door Frames
- Window Frames and Window Troughs
- Interior and Exterior Walls
- Roof Fascia
- Columns
- Baseboards
- Chalk Board Frame
- Cabinets
- Bathroom Stalls

The XRF readings, components, and component locations are summarized in the attached Table 2.

1.3 VISUAL HAZARDOUS MATERIALS SURVEY SUMMARY

A visual survey was conducted to provide general information regarding the presence of suspect hazardous materials within the community centers. The following suspect hazardous materials were identified during survey activities:

- Fluorescent Light Fixture Ballasts
- Fluorescent Bulbs

2.0 INTRODUCTION

2.1 PURPOSE

NOVA has completed a Hazardous Materials Survey for the Century and Carver Community Centers located in Century, Escambia County, Florida. The community centers were surveyed to identify suspect asbestos containing materials (ACM), lead-based paint (LBP), and visual hazardous materials (HM).

All work was performed in general accordance with NOVA Proposal Number 016-30225963, dated November 07, 2022, the AHERA and ASTM E2356-18," *Standard Practice for Comprehensive Building Asbestos Survey* “.

2.2 LIMITATIONS

NOVA has performed the Hazardous Materials Survey, which is a limited inquiry into a property's environmental status, with respect to asbestos containing materials and lead based paint and is not sufficient to discover every potential source of ACMs and LBP at the property to be evaluated. No survey can wholly eliminate uncertainty regarding the potential ACMs and LBP in connection with a property. Performance of this practice is intended to reduce, but not eliminate, uncertainty regarding the potential for ACMs and LBP in connection with a property. The level of inquiry is variable. Not every property will warrant the same level of assessment for ACMs and LBP. Consistent with good commercial or customary practices, the appropriate level of assessment is guided by the type of property subject to assessment, the intended use of the property, the expertise and risk tolerance of the CLIENT, and the information developed over the course of the assessment.

NOVA's findings, opinions, conclusions and recommendations are based on information obtained through visual assessment of surficial conditions in readily accessible areas. It is possible that additional ACMs and LBP exist or may subsequently become known that may impact or change the assessment after NOVA's services are complete.

NOVA's assessment represents our professional opinion, only. Therefore, NOVA cannot, under any circumstances, make a statement of warranty or guarantee, expressed or implied, that ACMs and LBP are limited to those that are discovered while we were performing the survey.

2.3 USER RELIANCE

NOVA's Hazardous Materials Survey, along with the findings and conclusions contained in the report, either in completed form, summary form, or by extraction, is prepared, and intended, for the sole use of the **Town of Century (the Client)** and therefore may not contain

sufficient information for other purposes or parties. The Client is the only intended beneficiary of this report. The contents of NOVA's report will continue to be the property of NOVA. NOVA's report may not be disclosed to, used by, or relied upon by, any person or entity other than the Client without the express written consent of NOVA.

Authorization for disclosure to a third party or authorization for third-party reliance on a final report of any report will be considered by NOVA upon the written request of the Client. NOVA reserves the right to deny authorization to allow disclosure or reliance of NOVA's report to third parties.

3.0 HAZARDOUS MATERIAL SURVEY METHODOLOGY AND RESULTS

Hazardous Materials survey activities were completed by a NOVA EPA/AHERA accredited inspector on December 22, 2022.

3.1 ASBESTOS SURVEY METHODOLOGY AND RESULTS

3.1.1 Asbestos Inspection Procedure

The community centers were visually assessed by NOVA to identify suspect ACMs, which were then grouped into three categories according to their intended use:

- **Surfacing Materials** such as sprayed-on or troweled fireproofing, acoustical and decorative insulation, textured “popcorn” finishes, paint, stucco, etc.
- **Thermal System Insulation (TSI)**, such as pipe, boiler and storage tank insulation, and insulation on ducts, pumps, heat exchangers, and other equipment.
- **Miscellaneous Materials**, such as floor and ceiling tiles, wallboard, asbestos-cement board, siding and other building materials that did not fall into one of the previously mentioned categories.

Where applicable, materials with similar texture, color and general appearance were considered homogeneous for sampling purposes, including visually similar materials on different floors. NOVA’s assessment also included touching representative samples to determine friability, a mechanical classification defined as whether a material can be crumbled, pulverized, or reduced to powder by hand pressure.

3.1.2 Asbestos Sampling Procedure and Laboratory Analysis

All bulk samples were obtained in general accordance with the AHERA (40 CFR 763.86, Sampling) and ASTM E2356-18 procedures. The samples were placed in appropriate containers, and the containers sealed and labeled with a unique identification number. The samples were subsequently transported (following routine industry practices and chain-of-custody procedures) to Arrowhead Technologies, LLC for analysis. The ACM samples were analyzed for asbestos using Polarized Light Microscopy (PLM) methods in accordance with EPA Method 600/R-93/116.

3.1.3 Asbestos Sampling Results

Century Community Center (6001A Industrial Blvd.)

A total of fifteen (15) bulk samples were collected from materials located in five (5) homogenous sampling areas. The PLM analysis did not identify asbestos in the materials sampled as part of this survey.

Carver Community Center (7040 Jefferson Ave.)

A total of twenty-one (21) bulk samples were collected from materials located in seven (7) homogenous sampling areas. The PLM analysis did not identify asbestos in the materials sampled as part of this survey.

A summary of the asbestos bulk sample analysis results for the both community centers is provided in Table 1.

3.2 LEAD BASED PAINT SURVEY METHODOLOGY AND RESULTS

3.2.1 Testing Procedures and Interpretation of XRF Results

XRF testing was performed on a representative number of interior and exterior building components using an LPA-1 manufactured by Radiation Monitoring Devices. XRF test data, including calibration checks against standards, were recorded on inspection worksheet(s) to generate a permanent record of the field findings.

The XRF values are collected by placing the LPA-1 scanner on the test surface, exposing the lead paint film to gamma radiation collects XRF values. XRF analyzers are usually capable of penetrating up to 25 layers of paint to determine lead content. After each test, the shutter is closed and the display on the control console shows the lead concentration in mg/cm² for manual tabulation.

The length of each test determines the accuracy and precision of any measurement, instrument calibration checks against known standards or control blocks, measurement conditions, and mathematical laws of random error. Based on the manufacturer's Performance Characteristics Sheet for the LPA-1 XRF Analyzer, when operating the XRF in the "Quick Mode", there are no inconclusive readings.

Even when XRF equipment is properly operated within the manufacturer's specification, unusual substrates, paint additives, uneven paint applications, electrical fields, lead components in wall cavities, and many other variables may cause significant fluctuations in apparent test values. Due to the limitations and inherent problems associated with XRF

field-testing, confirmation sampling and assessment of XRF data is recommended before major abatement activities are started.

3.2.2 Lead Based Paint Survey Results

Century Community Center (6001A Industrial Blvd.)

Lead coated materials and/or materials containing lead were not identified by XRF in the Century Community Center.

Carver Community Center (7040 Jefferson Ave.)

Lead coated materials and/or materials containing lead were identified by XRF in the Carver Community Center.

The following components exhibited XRF readings of 1.0 mg/cm² or greater:

- Doors and Door Frames
- Window Frames and Window Troughs
- Interior and Exterior Walls
- Roof Fascia
- Columns
- Baseboards
- Chalk Board Frames
- Cabinets
- Bathroom Stalls

A summary of the lead-based paint XRF readings is provided in Table 2.

3.3 VISUAL HAZARDOUS MATERIALS SURVEY METHODOLOGY AND RESULTS

NOVA performed a visual inspection of readily accessible areas to identify materials likely to contain PCBs and/or mercury.

Hazardous materials in the form of ballasts and fluorescent light bulbs were identified in both the Century and Carver Community Centers.

4.0 CONCLUSIONS AND RECOMMENDATIONS

NOVA has completed a Hazardous Materials Survey the Century and Carver Community Centers located in Century, Escambia County, Florida. The community centers were surveyed to identify suspect ACM, LBP, and HM.

4.1 ASBESTOS SURVEY CONCLUSIONS AND RECOMMENDATIONS

Asbestos was not identified in the samples collected from the Century or Carver Community Centers.

4.2 LEAD BASED PAINT SURVEY CONCLUSIONS AND RECOMMENDATIONS

Lead based paint and/or materials containing lead were identified by XRF in the Carver Community Center. Components that exhibited lead concentrations of 1.0 mg/cm² or greater included doors, door frames, window frames, window troughs, interior/exterior walls, roof fascia, columns, baseboards, a chalk board frame, cabinets, and bathroom stalls.

If proposed activities will impact components where lead-based paint and/or materials containing lead were identified during survey activities, NOVA recommends the following:

- Adherence to applicable Federal, State, and Local regulations and guidelines concerning the removal and disposal of materials painted with or containing lead-based paint.
- Ensure workers who perform tasks that disturb painted components containing any concentration of lead are properly trained and monitored for exposure in accordance with the OSHA standard.
- In accordance with 40 CFR Part 261, lead-containing debris must be characterized prior to disposal by TCLP to verify if the material is hazardous. The contractor is responsible for evaluating whether materials removed from a building may be disposed of as construction debris or a hazardous waste.
- Intact metal components coated with LBP do not need to be characterized if the materials can be recycled as scrap metal. However, paint chips and other waste resulting from work that impacts lead-based paint should be characterized using TCLP prior to disposal of the material off-site.

4.3 VISUAL HAZARDOUS MATERIALS CONCLUSIONS AND RECOMMENDATIONS

Potential hazardous materials were identified in Well Houses #1 through #3 in the form of ballasts and fluorescent light bulbs. EPA has determined that some specific wastes are considered hazardous. These wastes are incorporated into lists published by the EPA and organized into three categories:

1. **The F-list (Non-Specific Source Wastes)** – The F-list identifies wastes from common manufacturing and industrial processes, such as solvents, that have been used in cleaning or degreasing operations. Because the processes producing these wastes can occur in different sectors of industry, the F-listed wastes are known as wastes from non-specific sources. Wastes included on the F-list can be found in the regulations at 40 CFR §261.31.
2. **The K-list (Source-Specific Wastes)** – The K-list identifies wastes from specific industries, such as petroleum refining or pesticide manufacturing. Certain sludges and wastewaters from treatment and production processes in these industries are examples of source-specific wastes. Wastes included on the K-list can be found in the regulations at 40 CFR §261.32.
3. **The P-list and the U-list (Discarded Commercial Chemical Products)** – The P- and U-lists identify specific commercial chemical products in unused form. Some pesticides and some pharmaceutical products become hazardous waste when discarded. Wastes included on the P- and U-lists can be found in the regulations at 40 CFR §261.33.

Wastes that are not specifically listed may still be considered a hazardous waste if they exhibit one or more of the four characteristics defined in 40 CFR Part 261 Subpart C - ignitability (D001), corrosivity (D002), reactivity (D003), and toxicity (D004 - D043).

1. **Ignitability** - Ignitable wastes can create fires under certain conditions, are spontaneously combustible, or have a flash point less than 60 °C (140 °F). Examples include waste oils and used solvents.
2. **Corrosivity** - Corrosive wastes are acids or bases (pH less than or equal to 2, or greater than or equal to 12.5) that are capable of corroding metal containers, such as storage tanks, drums, and barrels.
3. **Reactivity** - Reactive wastes are unstable under "normal" conditions. They can cause explosions, toxic fumes, gases, or vapors when heated, compressed, or mixed with water.

4. **Toxicity** - Toxic wastes are harmful or fatal when ingested or absorbed (e.g., containing mercury, lead, etc.). When toxic wastes are disposed on land, contaminated liquid may leach from the waste and pollute ground water. Toxicity is defined through a laboratory procedure called the Toxicity Characteristic Leaching Procedure (TCLP) (Method 1311). The TCLP helps identify wastes likely to leach concentrations of contaminants that may be harmful to human health or the environment.

Light fixture ballasts manufactured through 1979 and those without a "No PCBs" label should be assumed to contain PCBs. The capacitor in the ballast may contain two to three ounces of PCBs. Potting compound (used to dissipate heat from electrical components in the ballast) may be made of waste oil contaminated by PCBs. The Toxic Substances Control Act of 1976 (TSCA) regulates disposal and storage of PCB. Ballasts containing or suspected of containing PCBs should be disposed of at hazardous waste incinerators or chemical waste landfills.

NOVA recommends disposing of hazardous materials identified on the site in accordance with applicable Federal, State, and Local regulations and guidelines.

TABLES

TABLE 1: ASBESTOS BULK SAMPLE ANALYTICAL RESULTS SUMMARY

Project Name: Century and Carver Community Centers

NOVA Project No.: 10116-3022084

Location: Century, Escambia County, Florida

ID No./Lab ID	Material Description	Location	Asbestos Content	Estimated Quantity	Friable	Condition
CENTURY COMMUNITY CENTER (6001A INDUSTRIAL BLVD.)						
011243-001	Pink Floor Tile w/Mastic	Interior Floor	NAD	N/A	N/A	N/A
011243-002			NAD	N/A	N/A	N/A
011243-003			NAD	N/A	N/A	N/A
011243-004	Ceiling Tiles	Interior Ceiling	NAD	N/A	N/A	N/A
011243-005			NAD	N/A	N/A	N/A
011243-006			NAD	N/A	N/A	N/A
011243-007	Drywall System w/Joint Compound	Interior Walls	NAD	N/A	N/A	N/A
011243-008			NAD	N/A	N/A	N/A
011243-009			NAD	N/A	N/A	N/A
011243-010	Yellow/Blue Floor Tile w/Mastic	Interior Floor	NAD	N/A	N/A	N/A
011243-011			NAD	N/A	N/A	N/A
011243-012			NAD	N/A	N/A	N/A
011243-013	HVAC Putty	Center Interior, HVAC System	NAD	N/A	N/A	N/A
011243-014			NAD	N/A	N/A	N/A
011243-015			NAD	N/A	N/A	N/A
CARVER COMMUNITY CENTER (7040 JEFFERSON AVENUE)						
011242-001	Brown Linoleum Floor Tile	Interior Floors	NAD	N/A	N/A	N/A
011242-002			NAD	N/A	N/A	N/A
011242-003			NAD	N/A	N/A	N/A
011242-004	Roof System	Center Roof	NAD	N/A	N/A	N/A
011242-005			NAD	N/A	N/A	N/A
011242-006			NAD	N/A	N/A	N/A
011242-007	White Cementitious Material	Interior Walls	NAD	N/A	N/A	N/A
011242-008			NAD	N/A	N/A	N/A
011242-009			NAD	N/A	N/A	N/A
011242-010	Plaster	Interior Walls	NAD	N/A	N/A	N/A
011242-011			NAD	N/A	N/A	N/A
011242-012			NAD	N/A	N/A	N/A
011242-013	White Patterned Linoleum Floor Tile	Interior Floors	NAD	N/A	N/A	N/A
011242-014			NAD	N/A	N/A	N/A
011242-015			NAD	N/A	N/A	N/A
011242-016	Sub floor Felt	Interior Floors	NAD	N/A	N/A	N/A
011242-017			NAD	N/A	N/A	N/A
011242-018			NAD	N/A	N/A	N/A
011242-019	Brick and Mortar Foundation	Center Foundation	NAD	N/A	N/A	N/A
011242-020			NAD	N/A	N/A	N/A
011242-021			NAD	N/A	N/A	N/A

Notes:

1. NAD = No Asbestos Detected
2. N/A = Not Applicable

TABLE 2: LEAD BASED PAINT RESULTS SUMMARY

Project Name: Century and Carver Community Centers
Location: Century, Escambia County, Florida

NOVA Project No.: 10116-3022084

Sample No.	Component Description	Component Location	Background Substrate	Paint Condition	XRF Reading
CENTURY COMMUNITY CENTER (6001A INDUSTRIAL BLVD.)					
1	Wall	Front Exit	Drywall	Intact	0.0
2	Wall	Front Exit	Drywall	Intact	0.0
3	Wall	Front Exit	Drywall	Intact	0.0
4	Wall	Front Exit	Drywall	Intact	0.0
5	Wall	Kitchen	Drywall	Intact	0.0
6	Wall	Kitchen	Drywall	Intact	0.0
7	Wall	Kitchen	Drywall	Intact	0.0
8	Wall	Kitchen	Drywall	Intact	0.0
9	Wall	Podium Room	Drywall	Intact	0.0
10	Wall	Podium Room	Drywall	Intact	0.0
11	Wall	Podium Room	Drywall	Intact	0.0
12	Wall	Podium Room	Drywall	Intact	0.0
13	Door	Entrance	Metal	Intact	0.0
14	Door Frame	Entrance	Metal	Intact	0.0
15	Door	Kitchen Entrance	Metal	Intact	0.0
16	Door Frame	Kitchen Entrance	Metal	Intact	0.0
17	Door	Bathroom Entrance	Metal	Intact	0.0
18	Door Frame	Bathroom Entrance	Metal	Intact	0.0
19	Door	Podium Room Entrance	Metal	Intact	0.0
20	Door Frame	Podium Room Entrance	Metal	Intact	0.0
21	Door	Podium Room	Metal	Intact	0.0
22	Door Frame	Podium Room	Metal	Intact	0.0
23	Door Jam	Podium Room	Metal	Intact	0.0
24	Door Frame	Podium Room	Metal	Intact	0.0
25	Door	Podium Room	Metal	Intact	0.0
26	Door Frame	Podium Room	Metal	Intact	0.0
27	Door	Podium Room	Metal	Intact	0.0
28	Door Frame	Podium Room	Metal	Intact	0.0
CARVER COMMUNITY CENTER (7040 JEFFERSON AVE.)					
1	Wall	Front	Wood	Not Intact	2.2
2	Wall	Middle	Wood	Intact	0.0
3	Wall	Back	Wood	Intact	0.0
4	Wall	Right	Wood	Intact	0.0
5	Blue	North Door	Wood	Intact	1.5
6	Blue	North Door Frame	Wood	Intact	3.2
7	White	Interior North Door	Wood	Intact	1.9
8	Brown	Interior North Door Frame	Wood	Intact	3.7
9	White	North Concrete	Concrete	Not Intact	0.0
10	White	East Window Frame	Wood	Not Intact	0.0
11	White	East Window Frame	Wood	Not Intact	0.0
12	White	East Window Frame	Wood	Not Intact	0.0
13	White	East Window Frame	Wood	Not Intact	0.0
14	White	East Window Frame	Wood	Not Intact	0.0
15	White	East Window Frame	Wood	Not Intact	0.0
16	White	East Window Frame	Wood	Not Intact	0.0
17	White	East Window Frame	Wood	Not Intact	0.0
18	White	East Window Frame	Wood	Not Intact	0.0
19	White	East Window Frame	Wood	Not Intact	0.0
20	White	East Window Trough	Wood	Not Intact	0.0
21	White	East Window Trough	Wood	Not Intact	0.0
22	White	East Window Trough	Wood	Not Intact	0.0
23	White	East Window Trough	Wood	Not Intact	0.0
24	White	East Window Trough	Wood	Not Intact	0.0
25	White	East Window Trough	Wood	Not Intact	0.0
26	White	East Window Trough	Wood	Not Intact	0.0
27	White	East Window Trough	Wood	Not Intact	0.0
28	Blue	South Door	Wood	Intact	2.0
29	Blue	South Door Frame	Wood	Intact	0.3

Notes:

- Measurements reported in milligrams per centimeter squared.

TABLE 2: LEAD BASED PAINT RESULTS SUMMARY

Project Name: Century and Carver Community Centers
Location: Century, Escambia County, Florida

NOVA Project No.: 10116-3022084

Sample No.	Component Description	Component Location	Background Substrate	Paint Condition	XRF Reading
CARVER COMMUNITY CENTER (7040 JEFFERSON AVE.)					
30	Blue Door	South Door	Wood	Intact	1.9
31	Wall	West Exterior Wall	Wood	Not Intact	1.2
32	Wall	West Exterior Wall	Wood	Not Intact	1.4
33	Wall	West Exterior Wall	Wood	Not Intact	3.2
34	Wall	West Exterior Wall	Wood	Not Intact	1.9
35	Wall	West Exterior Wall	Wood	Not Intact	2.2
36	Wall	West Exterior Wall	Wood	Not Intact	0.5
37	Wall	West Exterior Wall	Wood	Not Intact	0.7
38	Wall	West Exterior Wall	Wood	Not Intact	0.7
39	Fascia	Roof Fascia	Wood	Not Intact	2.2
40	Fascia	Roof Fascia	Wood	Not Intact	2.6
41	Fascia	Roof Fascia	Wood	Not Intact	1.9
42	Fascia	Roof Fascia	Wood	Not Intact	1.7
43	Fascia	Roof Fascia	Wood	Not Intact	2.6
44	Fascia	Roof Fascia	Wood	Not Intact	1.5
45	Blue Column	Column	Wood	Not Intact	1.9
46	Blue Column	Column	Wood	Not Intact	1.4
47	Blue Door	Front Door	Wood	Intact	3.9
48	Blue Door Frame	Front Door	Wood	Intact	2.6
49	Brown Door Frame	North Bathroom	Wood	Intact	1.6
50	Brown Door	North Bathroom	Wood	Intact	3.1
51	Brown Door Frame	North Bathroom	Wood	Intact	1.5
52	White Door Frame	North Bathroom	Wood	Intact	1.9
53	Yellow Wall	Janitor's Closet	Wood	Intact	0.2
54	Yellow Wall	Janitor's Closet	Wood	Intact	0.3
55	Yellow Wall	Janitor's Closet	Wood	Intact	0.2
56	Stall	North Bathroom	Wood	Intact	1.9
57	White Wall	North Bathroom	Concrete	Intact	0.2
58	White Wall	North Bathroom	Concrete	Intact	0.3
59	White Wall	North Bathroom	Concrete	Intact	0.2
60	White Wall	North Bathroom	Concrete	Intact	0.2
61	Window Frame	North Bathroom	Wood	Intact	3.9
62	Window Frame	North Bathroom	Wood	Intact	3.6
63	Window Frame	North Bathroom	Wood	Intact	3.7
64	White Door	Room No. 7	Wood	Intact	2.0
65	Brown Door Frame	Room No. 7	Wood	Intact	2.3
66	White Wall	Room No. 7	Wood	Intact	0.3
67	Brown Wall	Room No. 7	Wood	Intact	0.3
68	Brown Wall	Room No. 7	Wood	Intact	0.3
69	White Wall	Room No. 7	Wood	Intact	0.3
70	Chalkboard	Room No. 7	Other	Intact	0.1
71	Brown Chalkboard Frame	Room No. 7	Wood	Intact	1.4
72	White Window Frame and Trough	Room No. 7	Wood	Intact	1.7
73	White Window Frame and Trough	Room No. 7	Wood	Intact	1.6
74	White Window Frame and Trough	Room No. 7	Wood	Intact	1.5
75	White Window Frame and Trough	Room No. 7	Wood	Intact	1.6
76	White Window Frame and Trough	Room No. 7	Wood	Intact	1.3
77	White Window Frame and Trough	Room No. 7	Wood	Intact	1.4
78	Brown Window Frame and Trough	Room No. 7	Wood	Intact	2.6
79	Brown Window Frame and Trough	Room No. 7	Wood	Intact	2.1
80	Brown Window Frame and Trough	Room No. 7	Wood	Intact	2.3
81	White Wall	Hallway	Wood	Intact	0.2
82	White Wall	Hallway	Wood	Intact	0.3
83	White Wall	Hallway	Wood	Intact	0.3

Notes:

1. Measurements reported in milligrams per centimeter squared.

TABLE 2: LEAD BASED PAINT RESULTS SUMMARY

Project Name: Century and Carver Community Centers
Location: Century, Escambia County, Florida

NOVA Project No.: 10116-3022084

Sample No.	Component Description	Component Location	Background Substrate	Paint Condition	XRF Reading
CARVER COMMUNITY CENTER (7040 JEFFERSON AVE.)					
84	White Wall	Hallway	Wood	Intact	0.3
85	White Wall	Hallway	Wood	Intact	0.3
86	Brown Baseboard	North Hallway	Wood	Intact	1.6
87	Brown Baseboard	North Hallway	Wood	Intact	1.7
88	Brown Baseboard	North Hallway	Wood	Intact	1.7
89	Brown Baseboard	North Hallway	Wood	Intact	1.5
90	Brown Baseboard	North Hallway	Wood	Intact	1.6
91	Brown Door	Office	Wood	Intact	0.0
92	Brown Door Frame	Office	Wood	Intact	1.6
93	White Door	Office	Wood	Intact	0.3
94	Brown Door Frame	Office	Wood	Intact	2.6
95	Wall	Office	Wood	Intact	0.3
96	Wall	Office	Wood	Intact	0.3
97	Wall	Office	Wood	Intact	0.3
98	Wall	Office	Wood	Intact	0.3
99	Brown Door	Admin. Area	Wood	Intact	0.2
100	Brown Door Frame	Admin. Area	Wood	Intact	0.3
101	Wall	Admin. Area	Wood	Intact	0.1
102	Wall	Admin. Area	Wood	Intact	0.1
103	Wall	Admin. Area	Wood	Intact	0.1
104	Wall	Admin. Area	Wood	Intact	0.1
105	Brown Door		Wood	Intact	0.1
106	Brown Door Frame		Wood	Intact	0.1
107	Wall		Wood	Intact	0.1
108	Wall		Wood	Intact	0.1
109	Wall		Wood	Intact	0.1
110	Wall		Wood	Intact	0.1
111	Door	Front Door	Wood	Intact	2.6
112	Door Frame	Front Door	Wood	Intact	2.8
113	Brown Door	Room No. 3	Wood	Intact	1.9
114	Brown Door Frame	Room No. 3	Wood	Intact	1.4
115	Wall	Room No. 3	Wood	Intact	0.1
116	Wall	Room No. 3	Wood	Intact	0.1
117	Wall	Room No. 3	Wood	Intact	0.1
118	Wall	Room No. 3	Wood	Intact	0.1
119	White Window Frame	Room No. 3	Wood	Intact	1.9
120	White Window Frame	Room No. 3	Wood	Intact	2.6
121	Door	Room No. 9	Wood	Intact	1.4
122	Door Frame	Room No. 9	Wood	Intact	1.9
123	Wall	Room No. 9	Wood	Intact	0.1
124	Wall	Room No. 9	Wood	Intact	0.1
125	Wall	Room No. 9	Wood	Intact	0.1
126	Wall	Room No. 9	Wood	Intact	0.1
127	White Window Frame	Room No. 9	Wood	Intact	1.4
128	White Window Frame	Room No. 9	Wood	Intact	1.7
129	White Window Frame	Room No. 9	Wood	Intact	2.6
130	White Window Frame	Room No. 9	Wood	Intact	2.6
131	Wall	South Bathroom & Storage	Wood	Intact	0.1
132	Wall	South Bathroom & Storage	Wood	Intact	0.1
133	Wall	South Bathroom & Storage	Wood	Intact	0.1
134	Wall	South Bathroom & Storage	Wood	Intact	0.1
135	Door	South Bathroom & Storage	Wood	Intact	1.6
136	Door Frame	South Bathroom & Storage	Wood	Intact	2.2

Notes:

1. Measurements reported in milligrams per centimeter squared.

TABLE 2: LEAD BASED PAINT RESULTS SUMMARY

Project Name: Century and Carver Community Centers
Location: Century, Escambia County, Florida

NOVA Project No.: 10116-3022084

Sample No.	Component Description	Component Location	Background Substrate	Paint Condition	XRF Reading
CARVER COMMUNITY CENTER (7040 JEFFERSON AVE.)					
137	Door Frame	South Bathroom & Storage	Wood	Intact	2.2
138	Brown Door	South Bathroom & Storage	Wood	Intact	2.2
139	Door Frame	South Bathroom & Storage	Wood	Intact	1.4
140	Bathroom Stall Wall	South Bathroom & Storage	Wood	Intact	2.5
141	Bathroom Stall Wall	South Bathroom & Storage	Wood	Intact	1.7
142	Bathroom Stall Wall	South Bathroom & Storage	Wood	Intact	2.1
143	Cabinet Door	Room No. 8	Wood	Intact	1.6
144	Cabinet Door Frame	Room No. 8	Wood	Intact	1.4
145	Cabinet Door	Room No. 6	Wood	Intact	2.0
146	Cabinet Door Frame	Room No. 6	Wood	Intact	1.4
147	Door	Room No. 6	Wood	Intact	2.0
148	Cabinet Door Frame	Room No. 6	Wood	Intact	1.4
149	Cabinet Door	Room No. 6	Wood	Intact	0.1
150	Cabinet Door Frame	Room No. 6	Wood	Intact	0.1
151	Cabinet Door Frame	Room No. 6	Wood	Intact	0.1
152	Cabinet Door Frame	Room No. 6	Wood	Intact	0.1
153	Wall	Room No. 6	Wood	Intact	0.1
154	Wall	Room No. 6	Wood	Intact	0.1
155	Wall	Room No. 6	Wood	Intact	0.1
156	Wall	Room No. 6	Wood	Intact	0.1
157	Window Frame	Room No. 6	Wood	Intact	0.1
158	Window Frame	Room No. 6	Wood	Intact	0.1
159	Window Frame	Room No. 6	Wood	Intact	0.1
160	Window Frame	Room No. 6	Wood	Intact	2.6
161	Window Frame	Room No. 6	Wood	Intact	2.6
162	Window Frame	Room No. 6	Wood	Intact	2.6
163	Door	Room No. 2	Wood	Intact	1.4
164	Door Frame	Room No. 2	Wood	Intact	0.4
165	Wall	Room No. 2	Wood	Intact	0.1
166	Wall	Room No. 2	Wood	Intact	0.1
167	Wall	Room No. 2	Wood	Intact	0.1
168	Wall	Room No. 2	Wood	Intact	0.1
169	Window Frame	Room No. 2	Wood	Intact	2.1
170	Window Frame	Room No. 2	Wood	Intact	1.7
171	Window Frame	Room No. 2	Wood	Intact	0.1
172	Window Frame	Room No. 2	Wood	Intact	0.1
173	Ceiling	Room No. 2	Wood	Intact	0.1
174	Ceiling	Room No. 2	Wood	Intact	0.1
175	Ceiling	Room No. 2	Wood	Intact	0.1
176	Ceiling	Room No. 2	Wood	Intact	0.1
177	Ceiling	Room No. 2	Wood	Intact	0.1

Notes:

1. Measurements reported in miligrams per centimeter squared.

APPENDIX A

ASBESTOS BULK SAMPLE LABORATORY RESULTS AND CHAIN OF CUSTODY RECORDS

**ARROWHEAD**
TECHNOLOGIES, LLC**PLM REPORT SUMMARY**

3151 San Bernadino St.
Clearwater, Florida 33759
813-679-0720 / mhall005@tampabay.rr.com

NVLAP Lab Code 200703-0

Client : Nova Lab Set No. : 011243
Project : 6001A Industrial Blvd AT Job No. : 22-11243
Client Project No.: 10116-3022084 Report Date : 12/30/2022
Identification : Asbestos, Bulk Sample Analysis Sample Date : 12/22/2022
Test Method : Polarized Light Microscopy / Dispersion Staining (PLM/DS)
EPA Method 600/R-93/116 / EPA Method 600/M4-82-020

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On 12/27/2022, fifteen (15) bulk material samples were submitted by Daniel McGimsey for asbestos analysis by PLM/DS.
Copies of Bulk Sample Analysis sheets are attached; additional information may be found therein. The results are summarized below:

Lab Sample No.	Sample Description / Location	Asbestos Content
011243-001	Pink FT w/ Mastic HA1-1	None Detected-Pink Floor Tile None Detected-Tan Mastic
011243-002	Pink FT w/ Mastic HA1-2	None Detected-Pink Floor Tile None Detected-Tan Mastic
011243-003	Pink FT w/ Mastic HA1-3	None Detected-Pink Floor Tile None Detected-Tan Mastic
011243-004	Drop Down Ceiling Panel HA2-1	None Detected-White Ceiling Panel
011243-005	Drop Down Ceiling Panel HA2-2	None Detected-White Ceiling Panel
011243-006	Drop Down Ceiling Panel HA2-3	None Detected-White Ceiling Panel
011243-007	Gypsum Board w/ Joint Compound HA3-1	None Detected-Joint Compound w/ Paint None Detected-Tan DW Paper Backing None Detected-White Drywall Material
011243-008	Gypsum Board w/ Joint Compound HA3-2	None Detected-Joint Compound w/ Paint None Detected-Tan DW Paper Backing None Detected-White Drywall Material

These samples were analyzed by layers. Specific layer or component asbestos content is indicated when relevant. The EPA considers a material to be asbestos containing only if it contains more than one percent asbestos by Calibrated Visual Area Estimation (CVAE). EPA regulations also indicate that Regulated Asbestos Containing Materials (RACM) -- materials which are friable or may become friable -- be further analyzed by point counting when the results indicate less than ten percent asbestos by CVAE. Arrowhead utilizes CVAE on a routine basis and does not include point counting unless specifically requested. The results may not be reproduced except in full.

**ARROWHEAD**
TECHNOLOGIES, LLC**PLM REPORT SUMMARY**

3151 San Bernadino St.
Clearwater, Florida 33759
813-679-0720 / mhall005@tampabay.rr.com

NVLAP Lab Code 200703-0

Client : Nova Lab Set No. : 011243
Project : 6001A Industrial Blvd AT Job No. : 22-11243
Client Project No.: 10116-3022084 Report Date : 12/30/2022
Identification : Asbestos, Bulk Sample Analysis Sample Date : 12/22/2022
Test Method : Polarized Light Microscopy / Dispersion Staining (PLM/DS)
EPA Method 600/R-93/116 / EPA Method 600/M4-82-020

Page 2 of 3

On 12/27/2022, fifteen (15) bulk material samples were submitted by Daniel McGimsey for asbestos analysis by PLM/DS.
Copies of Bulk Sample Analysis sheets are attached; additional information may be found therein. The results are summarized below:

Lab Sample No.	Sample Description / Location	Asbestos Content
011243-009	Gypsum Board w/ Joint Compound HA3-3	None Detected-Joint Compound w/ Paint None Detected-Tan DW Paper Backing None Detected-White Drywall Material
011243-010	Yellow/Blue FT w/ Mastic HA4-1	None Detected-Yellow Floor Tile None Detected-Tan Mastic None Detected-Gray Coating Material
011243-011	Yellow/Blue FT w/ Mastic HA4-2	None Detected-Yellow Floor Tile None Detected-Tan Mastic None Detected-Gray Coating Material
011243-012	Yellow/Blue FT w/ Mastic HA4-3	None Detected-Yellow Floor Tile None Detected-Tan Mastic None Detected-Gray Coating Material
011243-013	HVAC Putty HA5-1	None Detected-Gray Putty
011243-014	HVAC Putty HA5-2	None Detected-Gray Putty
011243-015	HVAC Putty HA5-3	None Detected-Gray Putty

These samples were analyzed by layers. Specific layer or component asbestos content is indicated when relevant. The EPA considers a material to be asbestos containing only if it contains more than one percent asbestos by Calibrated Visual Area Estimation (CVAE). EPA regulations also indicate that Regulated Asbestos Containing Materials (RACM) -- materials which are friable or may become friable -- be further analyzed by point counting when the results indicate less than ten percent asbestos by CVAE. Arrowhead utilizes CVAE on a routine basis and does not include point counting unless specifically requested. The results may not be reproduced except in full.



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Project :	6001A Industrial Blvd	AT Job No. :	22-11243
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Page 3 of 3

SCOPE OF THIS REPORT

These samples were obtained as a part of a building survey; this report is only intended to be used as a part of the survey report issued by the surveyor. This report explains the laboratory analysis and results. The surveyor's report explains the sampling protocol used, when the samples were obtained, the location(s) of the samples, where the materials were observed in the building, quantities of materials observed, condition of the materials and the extent of his/her survey. Sample locations and material descriptions are given by the surveyor on the chain of custody but included here (possibly abbreviated) only as a convenience for the reader.

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STATEMENT OF LABORATORY ACCREDITATION

The samples were analyzed in general accordance with the procedures outlined in the Method for the Determination of Asbestos in Bulk Building Materials, EPA/600/R-93/116, and the Interim Method for the Determination of Asbestos in Bulk Insulation Samples, EPA 600/M4-82-020. The results of each bulk sample relate only to the material tested and the results shall not be used to claim product endorsement by NVLAP or any agency of the U.S. Government.

Floor tile and other resinously bound materials, when analyzed by the EPA method, may yield false negative results because of limitations in separating closely bound fibers and in detecting fibers of small length and diameter. When a definitive result is required, Arrowhead recommends utilizing alternative methods of identification, including Transmission Electron Microscopy.

Specific questions concerning bulk sample results shall be directed to the Laboratory Director.

Analyst : Ryan Schwegman

Laboratory Director : Monte Hall, P.G.
Florida Registration No. 1658

Approved Signatory :



ARROWHEAD TECHNOLOGIES, LLC

PLM REPORT SUMMARY

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Clearwater, Florida 33759
813-679-0720 / mhall005@tampabay.rr.com

NVLAP Lab Code 200703-0

Client :	Nova	Lab Set No. :	011242
Project :	Carver Community Center	AT Job No. :	22-11242
Client Project No.:	10116-3022084	Report Date :	12/30/2022
Identification :	Asbestos, Bulk Sample Analysis	Sample Date :	12/22/2022
Test Method :	Polarized Light Microscopy / Dispersion Staining (PLM/DS) EPA Method 600/R-93/116 / EPA Method 600/M4-82-020		

Page 1 of 4

On 12/27/2022, twenty-one (21) bulk material samples were submitted by Daniel McGimsey for asbestos analysis by PLM/DS. Copies of Bulk Sample Analysis sheets are attached; additional information may be found therein. The results are summarized below:

Lab Sample No.	Sample Description / Location	Asbestos Content
011242-001	Brown Lin-T-Flooring HA1-1	None Detected-Brown Sheet Vinyl Surface None Detected-Tan Backing None Detected-Yellow Adhesive
011242-002	Brown Lin-T-Flooring HA1-2	None Detected-Brown Sheet Vinyl Surface None Detected-Tan Backing None Detected-Yellow Adhesive
011242-003	Brown Lin-T-Flooring HA1-3	None Detected-Brown Sheet Vinyl Surface None Detected-Tan Backing None Detected-Yellow Adhesive
011242-004	Roof Shingle HA2-1	None Detected-Black Roofing Shingle
011242-005	Roof Shingle HA2-2	None Detected-Black Roofing Shingle
011242-006	Roof Shingle HA2-3	None Detected-Black Roofing Shingle
011242-007	Interior White Cementitious Sheet Rock HA3-1	None Detected-White Cementitious Mat.
011242-008	Interior White Cementitious Sheet Rock HA3-2	None Detected-White Cementitious Mat.
011242-009	Interior White Cementitious Sheet Rock HA3-3	None Detected-White Cementitious Mat.

These samples were analyzed by layers. Specific layer or component asbestos content is indicated when relevant. The EPA considers a material to be asbestos containing only if it contains more than one percent asbestos by Calibrated Visual Area Estimation (CVAE). EPA regulations also indicate that Regulated Asbestos Containing Materials (RACM) -- materials which are friable or may become friable -- be further analyzed by point counting when the results indicate less than ten percent asbestos by CVAE. Arrowhead utilizes CVAE on a routine basis and does not include point counting unless specifically requested. The results may not be reproduced except in full.



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Page 2 of 4

On 12/27/2022, twenty-one (21) bulk material samples were submitted by Daniel McGimsey for asbestos analysis by PLM/DS. Copies of Bulk Sample Analysis sheets are attached; additional information may be found therein. The results are summarized below:

Lab Sample No.	Sample Description / Location	Asbestos Content
011242-010	Plaster HA4-1	None Detected-Gray Plaster
011242-011	Plaster HA4-2	None Detected-Gray Plaster
011242-012	Plaster HA4-3	None Detected-Gray Plaster
011242-013	White Patterned Lin-T-Flooring HA5-1	None Detected-White Sheet Vinyl Surface None Detected-Tan Backing
011242-014	White Patterned Lin-T-Flooring HA5-2	None Detected-White Sheet Vinyl Surface None Detected-Tan Backing
011242-015	White Patterned Lin-T-Flooring HA5-3	None Detected-White Sheet Vinyl Surface None Detected-Tan Backing
011242-016	Sub Floor Felt HA6-1	None Detected-Black Tar Felt
011242-017	Sub Floor Felt HA6-2	None Detected-Black Tar Felt
011242-018	Sub Floor Felt HA6-3	None Detected-Black Tar Felt
011242-019	Brick and Mortar Foundation HA7-1	None Detected-Red Brick None Detected-Gray Mortar

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Project :	Carver Community Center	AT Job No. :	22-11242
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Page 3 of 4

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Lab Sample No.	Sample Description / Location	Asbestos Content
011242-020	Brick and Mortar Foundation HA7-2	None Detected-Red Brick None Detected-Gray Mortar
011242-021	Brick and Mortar Foundation HA7-3	None Detected-Red Brick None Detected-Gray Mortar

These samples were analyzed by layers. Specific layer or component asbestos content is indicated when relevant. The EPA considers a material to be asbestos containing only if it contains more than one percent asbestos by Calibrated Visual Area Estimation (CVAE). EPA regulations also indicate that Regulated Asbestos Containing Materials (RACM) -- materials which are friable or may become friable -- be further analyzed by point counting when the results indicate less than ten percent asbestos by CVAE. Arrowhead utilizes CVAE on a routine basis and does not include point counting unless specifically requested. The results may not be reproduced except in full.



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Page 4 of 4

SCOPE OF THIS REPORT

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Specific questions concerning bulk sample results shall be directed to the Laboratory Director.

Analyst : Ryan Schwegman

Laboratory Director : Monte Hall, P.G.
Florida Registration No. 1658

Approved Signatory :

APPENDIX B

CERTIFICATIONS



Center for Training, Research and Education for Environmental Occupations

certifies

Matthew Smith

NOVA Engineering & Environmental 807 Florida Ave. Panama City, FL 32401

has successfully met certificate requirements for the

Asbestos: Inspector

Approval: FBPR Asbestos Licensing Unit: Provider #0000995; Course #FL49-0002859 (3 Days; 21 Contact Hours)
(Accreditation for Inspector Under TSCA Title II/AHERA)

Conducted

11/14/2022 to 11/16/2022

Certificate #: 230050-9052

CEUs: 2.1

EPA accreditation expires: 11/16/2023

Principal Instructor: Russell E. Stauffer, PE, LAC

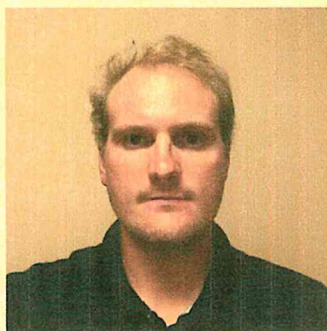
FBPE CEHs: 0009087/Educational Institutions: 21.0

A handwritten signature in black ink that reads 'Andrew Campbell'.

Andrew Campbell, Director

United States Environmental Protection Agency

This is to certify that



Daniel T McGimsey

has fulfilled the requirements of the Toxic Substances Control Act (TSCA) Section 402, and has received certification to conduct lead-based paint activities pursuant to 40 CFR Part 745.226 as:

Inspector

In the Jurisdiction of:

All EPA Administered Lead-based Paint Activities Program States, Tribes and
Territories

This certification is valid from the date of issuance and expires August 27, 2022

LBP-I-1206892-1

Certification #

August 13, 2019

Issued On



Adrienne Priselac, Manager, Toxics Office
Land Division



RICK SCOTT, GOVERNOR

JONATHAN ZACHEM, SECRETARY



STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
ASBESTOS LICENSING UNIT

THE ASBESTOS CONSULTANT HEREIN IS LICENSED UNDER THE
PROVISIONS OF CHAPTER 469, FLORIDA STATUTES

SCHMALTZ, LAWRENCE GERARD

4524 OAK FAIR BLVD
SUITE 200
NOVA ENGINEERING AND ENVIRONMENTAL
TAMPA FL 33610

LICENSE NUMBER: AX0000009

EXPIRATION DATE: NOVEMBER 30, 2020

Always verify licenses online at MyFloridaLicense.com



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VISUAL STRUCTURAL ASSESSMENT CARVER COMMUNITY CENTER CENTURY, FLORIDA

**Town of Century
7995 North Century Boulevard
Century, Florida 32535**

**Townes + Architects, P.A.
2421 North 12th Avenue
Pensacola, Florida 32503**

PROJECT NUMBER
Q0118.01-601

ISSUE DATE	REVISED DATE
05/16/23	N/A

PAGES
29 (excluding attachments)

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821 Corporate Court
Waukesha, Wisconsin 53189

Telephone: (717) 767-3786
www.intertek.com/building

Visual Structural Assessment for Carver Community Center

Project No.: Q0118.01-601

Issued Date: May 16, 2023

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Visual Structural Assessment for Carver Community Center
Project No.: Q0118.01-601
Issued Date: May 16, 2023

REPORT ISSUED TO

Leslie Howington
Town of Century
7995 North Century Boulevard
Century, Florida 32535

Ben Townes
Townes + Architects, P.A.
2421 North 12th Avenue
Pensacola, Florida 32503

PROJECT

Visual Structural Assessment
Carver Community Center
7040 Jefferson Avenue
Century, Florida 32535

SCOPE

Architectural Testing, Inc., an Intertek company (Intertek), was retained to perform an independent Visual Structural Assessment (VSA) of the as-constructed and maintained structural condition of the Carver Community Center located at the above project address.

We understand that the wood framed structure was designed and constructed in 1948 as the Colored Grade School per the original construction drawings provided. The building was reported to have vandalism, wood rot, and termite damage with well-aged and worn components. The Town has secured grants to refurbishing/restoring or replace the structure for the local community use.

This report presents our observations, findings, and recommendations regarding the building structural elements related to the initial premise of refurbishing/restoring the structure to its 1948 historic condition.

PROJECT UNDERSTANDING

Intertek understands that the community is divided between restoring the 1948 Colored Grade School building versus tearing it down and replacing it with a more modern structure. Intertek fully understands the importance of this structure is to the surrounding area residents.

The following aerial imagery shows the Center with the long axis being identified as the east-west axis. The front elevation, beside Jefferson Avenue, is on the north side of the building for this report.

Visual Structural Assessment for Carver Community Center

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Figure 1 - Aerial Imagery of the Carver Community Center

BUILDING CONSTRUCTION:

The original construction drawings are attached in Exhibit B – Original Construction Drawings. The building has perimeter concrete foundations set into the soil with interior pads. Built on these concrete foundations are red brick stem walls and piers. The supporting brick elements appear to be solid masonry with no void or cavities.

The floor system consists of 2x8 pine floor joists that rest on a wood sill plate that is bolted to the brick stem walls. The interior ends of the joists rest on a wood beam that bears on the piers. The flooring system has a 1x tongue and groove diagonal subfloor with a 1x pine finished floor.

The east-west exterior and interior walls in the building are the primary roof load bearing walls. All four (4) walls are 2x6 with a 1x diagonal sheathing on the exterior followed with a Novelty Drop siding. The interior walls have either plaster on lathe or wood. The roof is hand framed 2x construction with 1x roof diaphragm and fiberglass shingles.

The doors are wood paneled pine doors. All of the ceilings are high, for natural air movement, with the exterior and interior walls having windows to allow air to move through the building. The exterior windows are single hung configuration with cast iron weights for sash movement. The interior corridor windows are paddle wheel windows where the top swings into the classroom space and the bottom swings out into the corridor. The ceiling surfaces are either plaster on lathe or 1x bead board.

Visual Structural Assessment for Carver Community Center

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OBSERVATIONS AND COMMENTARY

We performed a visual structural survey of the building. The following summarizes our findings and extent of damage. Reference Exhibit A – Photographs for additional information.

- Brick stem wall is deteriorated and needs to be repaired.
- All the sill plates bolted to the stem wall are deteriorated and need to be replaced.
- Approximately 60% of the floor joist along the stem walls need to be jacked up into proper position and structurally reinforced.
- Approximately 70% of the bottom plate to the exterior walls are deteriorated and need to be replaced
- Approximately 40% of the bottom of the exterior wall studs need to be jacked up into proper position and replaced or reinforced.
- Approximately 30% of the floor requires removal and replacement.
- While not necessarily structurally related, we also noted the following:
 - o Approximately 50% of interior wall surfaces will need to be replaced.
 - o Approximately 20% of the ceiling surfaces need to be replaced.
 - o All exterior windows with surrounding wood framing need to be replaced
 - o All exterior doors need to be replaced

In general, the scope of work noted above, the above elements are an estimate for structural compliance per chapter 16 of the FBC. We performed some simple structural calculations of the existing structure floor components and determined that all of the 2x8 floor joist will need to be reinforced based on the live load occupancy requirements. We considered live loads of 40, 50, 80, and 100 pounds per square foot based on the possible uses, as defined by Chapter 3 of the FBC. The uses for occupancy for the existing structure can possibly be Assembly, Office space, Office Corridor, School Classroom, School Corridor, and our Storage. Considering the possible live loads for the building usage, we found that all of the existing floor areas do not meet the requirements per Chapter 16 live load requirements, except for an Office Corridor area, defined for the main east-west corridor.

In addition to the structural concerns, we noted the following additional concerns that should be reviewing, including lead-based paints, microbial growth on painted wall surfaces, electrical wiring, fire walls compromised in the attic space, and rusty discharge from domestic water pipes.

When looking at the overall project, it is likely that complete refurbishment/restoration cost will easily exceed 50% of the appraised value estimate, which will require the entire building be brought up to meet the 2021 Florida Building Code as required by the Florida Statutes.

Visual Structural Assessment for Carver Community Center
Project No.: Q0118.01-601
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Based on structural components only, we estimate the structural restoration/repairs/upgrades will cost approximately \$2,048,400 not including engineering and construction administration fees. Again, this is only structural repairs, and does not include addressing all the other concerns noted above (lead paint, microbial growths, etc.).

We can aid the Town and Mr. Townes on going forward with a new building project. But we can also provide detailed sketches for repairing the building if the community so desires.

CLOSING

This concludes our current scope of services. We appreciate the opportunity to be of service. If you need additional services, such as additional investigation, design services, and/or construction phase services, we can prepare a proposal for the desired services. Do not hesitate to contact us with any questions.

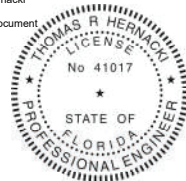
If you have any questions or concerns, please contact T.R. Hernacki.

Respectfully Submitted,

Architectural Testing, Inc., an Intertek company



Digitally signed by T.R. Hernacki
DN: C=US, E=t.r.hernacki@intertek.com,
O="Intertek - ATI", CN="T.R. Hernacki"
Location: Century, Florida
Reason: I am the author of this document
Contact Info: (561) 844-9111
Date: 2023.05.16 06:57:18-07'00'



T.R. Hernacki P.E., PMP, M ASCE
Senior Consultant
Building Science Solutions

REVISION LOG

REVISION #	DATE	PAGES	REVISION
0	05/16/23	64	Original Report Issue
-	-	-	-

TRH:wam

Visual Structural Assessment for Carver Community Center
Project No.: Q0118.01-601
Issued Date: May 16, 2023

EXHIBIT A - PHOTOGRAPHS



Photograph No. 1.

Front northwest corner of the building. Extensive wear and tear observed from Jefferson Avenue.



Photograph No. 2.

Front entry canopy located on the north side of the building. Damaged fascia, siding, windows, porch post, and entry doors easily observed from walkway to the steps.

Visual Structural Assessment for Carver Community Center

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Photograph No. 3.

West end of the building shows white peeling paint and damaged "Novelty Drop" wood siding. The windows (arrow) to the girl's bathroom have been boarded up.



Photograph No. 4.

East end, by basketball court, has white peeling paint and damaged "Novelty Drop" wood siding. The windows (arrow) to the boy's bathroom have been boarded up.

Visual Structural Assessment for Carver Community Center

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Photograph No. 5.

Typical Novelty Drop pine siding installed on exterior of building. The building was originally painted green. The white paint was peeling off of most of the building. We understand all painted surfaces have lead in the matrix.



Photograph No. 6.

Typical Novelty siding in disrepair. Wood rot was found throughout the building. The white paint was peeling off of most of the building. We understand all painted surfaces have lead in the matrix.

Visual Structural Assessment for Carver Community Center

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Photograph No. 7.

South elevation where an entry door was installed. The newer Novelty siding was in distress, starting to rot, and will need to be replaced.



Photograph No. 8.

Original siding showing the years of wear and tear along with wood rot.

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Photograph No. 9.

Windows to the southwest classroom were totally rotted out including protection boards installed over original windows. The windowsills, middle post between units, upper and lower stiles/sashes, and frames are totally rotted out with missing glazing.



Photograph No. 10.

Windows to the northwest classroom were totally rotted out including protection boards installed over original windows. The windowsills, middle post between units, upper and lower stiles/sashes, and frames totally rotted out with missing glazing.

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Photograph No. 11.

Windows to the northeast classroom were totally rotted out including protection boards installed over original windows. The windowsills, middle post between units, upper and lower stiles/sashes, and frames totally rotted out with missing glazing.



Photograph No. 12.

Windows to the southeast classroom were totally rotted out including protection boards installed over original windows. The windowsills, middle post between units, upper and lower stiles/sashes, and frames totally rotted out with missing glazing.

These windows had significant amount of window components missing.

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Photograph No. 13.

Front northeast corner of the building looking at the wall siding, wall sheathing, wall framing, and floor structure.



Photograph No. 14.

Area to the east of main building entry showing bottom of wall and floor structural components.

Visual Structural Assessment for Carver Community Center

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Photograph No. 15.

Bottom of wall bottom/sill plate has significant damage from both insect and microorganism eating on the wood. This component has no strength. This is consistent for over 60% of the building.

Floor joist has started to collapse due to damage from insects and/or rot. This is consistent for over 60% of the building. Interior joists bearing on wood beams and foundation piers look fair.

A risk of wall / floor structure collapse is feasible.



Photograph No. 16.

Closer view of damage for the prior pictures. The foundation sill board has no structural value.

A risk of wall / floor structure collapse is feasible.

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Photograph No. 17.

Closer view of damage by a chimney. The foundation sill board, floor joist bearing, and wall bottom plate have no structural value due to damage.

A risk of wall / floor structure collapse is feasible.



Photograph No. 18.

Closer view of on north elevation.

The foundation sill board, floor joist bearing, and wall bottom plate have no structural value due to damage.

A risk of wall / floor structure collapse is feasible.

Visual Structural Assessment for Carver Community Center

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Photograph No. 19.

Closer view of damage for the prior picture.

A risk of wall / floor structure collapse is feasible.



Photograph No. 20.

Closer view of on south elevation east end.

The foundation sill board, floor joist bearing, and wall bottom plate have no structural value due to damage.

A risk of wall / floor structure collapse is feasible.

Visual Structural Assessment for Carver Community Center

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Photograph No. 21.

Interior view of south elevation exterior structural wall. Wall panel under window has no structural strength.

A risk of wall / floor structure collapse is feasible.



Photograph No. 22.

Interior view of south elevation exterior structural wall. Wall panel under window has no structural strength.

A risk of wall / floor structure collapse is feasible.

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Photograph No. 23.

Interior side of perimeter foundation brick stem wall with 2x8 joist resting on.

Mid-span "X" cross bracing broken off bottom edge of floor joist.

A risk of wall / floor structure collapse is feasible.



Photograph No. 24.

Interior brick piers supporting wood beans and floor joists.

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Photograph No. 25.

Floor sub-floor termite damage is shown in the oval.

Mid-span "X" cross bracing broken off bottom edge of floor joist.

A risk of wall / floor structure collapse is feasible.



Photograph No. 26.

Mid-span "X" cross bracing broken off bottom edge of floor joist.

A risk of wall / floor structure collapse is feasible.

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Photograph No. 27.

Mid-span "X" cross bracing broken off bottom edge of floor joist.

A risk of wall / floor structure collapse is feasible.



Photograph No. 28.

Damaged wood floor and sub-floor observed along exterior walls in several locations.

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Photograph No. 29.

Damaged wood ceiling observed
in nearly every room.



Photograph No. 30.

Damaged wood ceiling observed
in nearly every room.

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Photograph No. 31.

Typical damaged wood floor.
Both the flooring and sub-
flooring had damage. This was
throughout the building.



Photograph No. 32.

Typical damaged wood wall
interior surfaces.

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Photograph No. 33.

West entry door had significant floor damage and was found structurally unsound.



Photograph No. 34.

Temporary loose laid plywood removed from the above picture showing gaping hole in floor assembly.

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Photograph No. 35.

Significant interior damage with apparent organic growth on the surfaces.



Photograph No. 36.

Significant interior damage with apparent organic growth on the surfaces.

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Photograph No. 37.

The stem foundation walls had several areas of damage from wear and tear or vehicles hitting it.



Photograph No. 38.

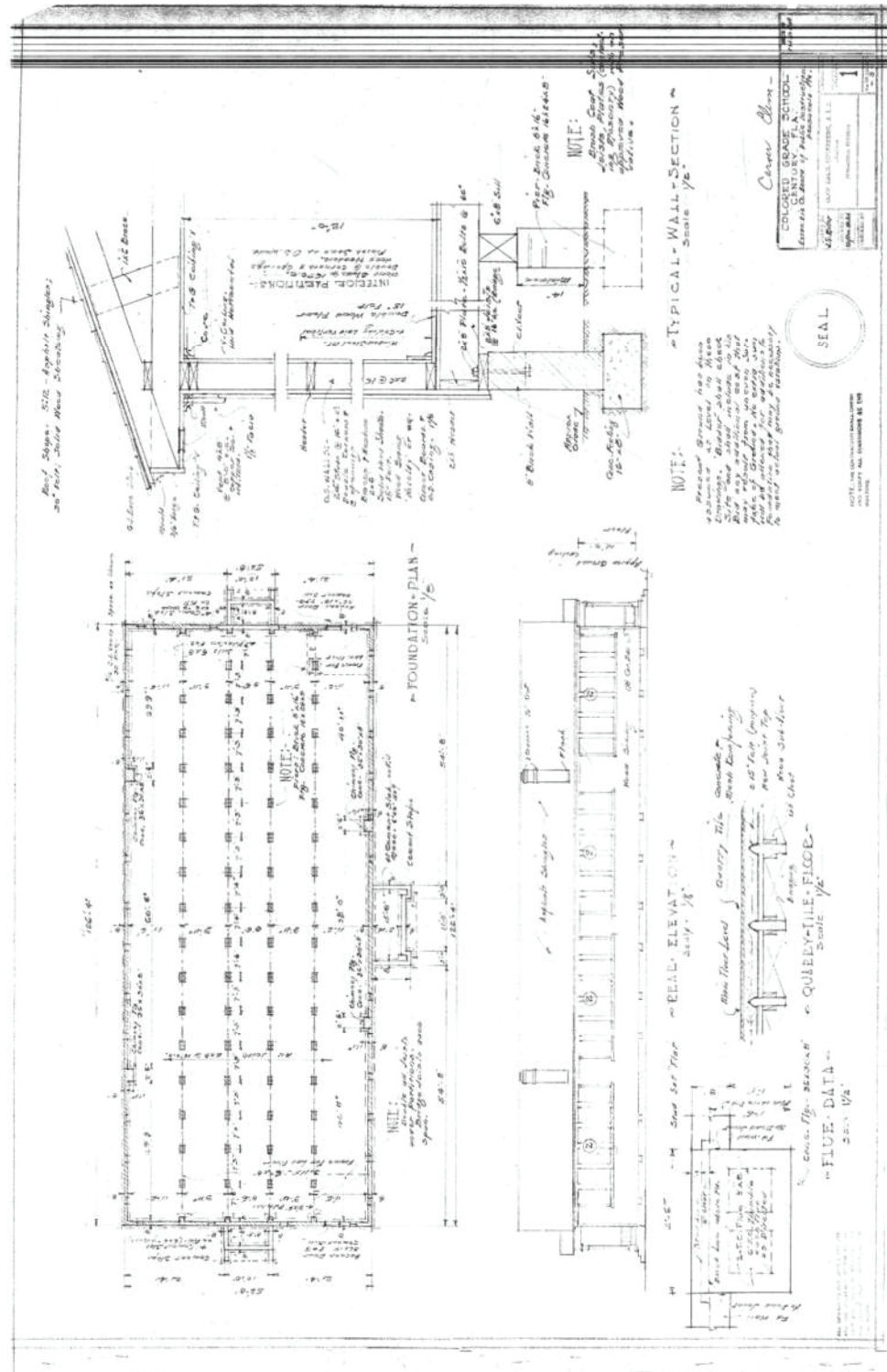
Brick work in stem foundation walls have numerous mortar cracks throughout the building.

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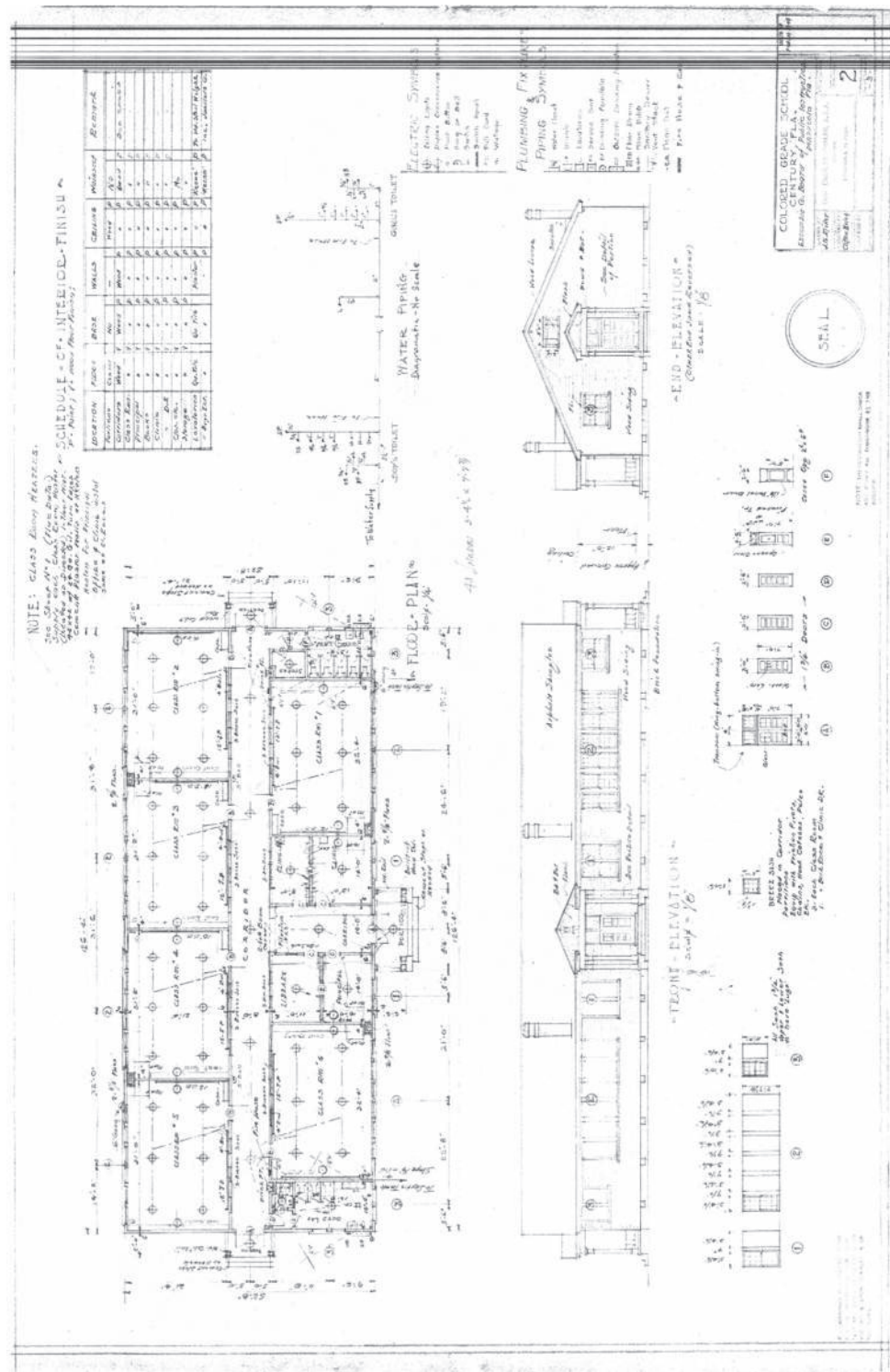
EXHIBIT B – ORIGINAL CONSTRUCTION DRAWINGS



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Project No.: Q0118.01-601

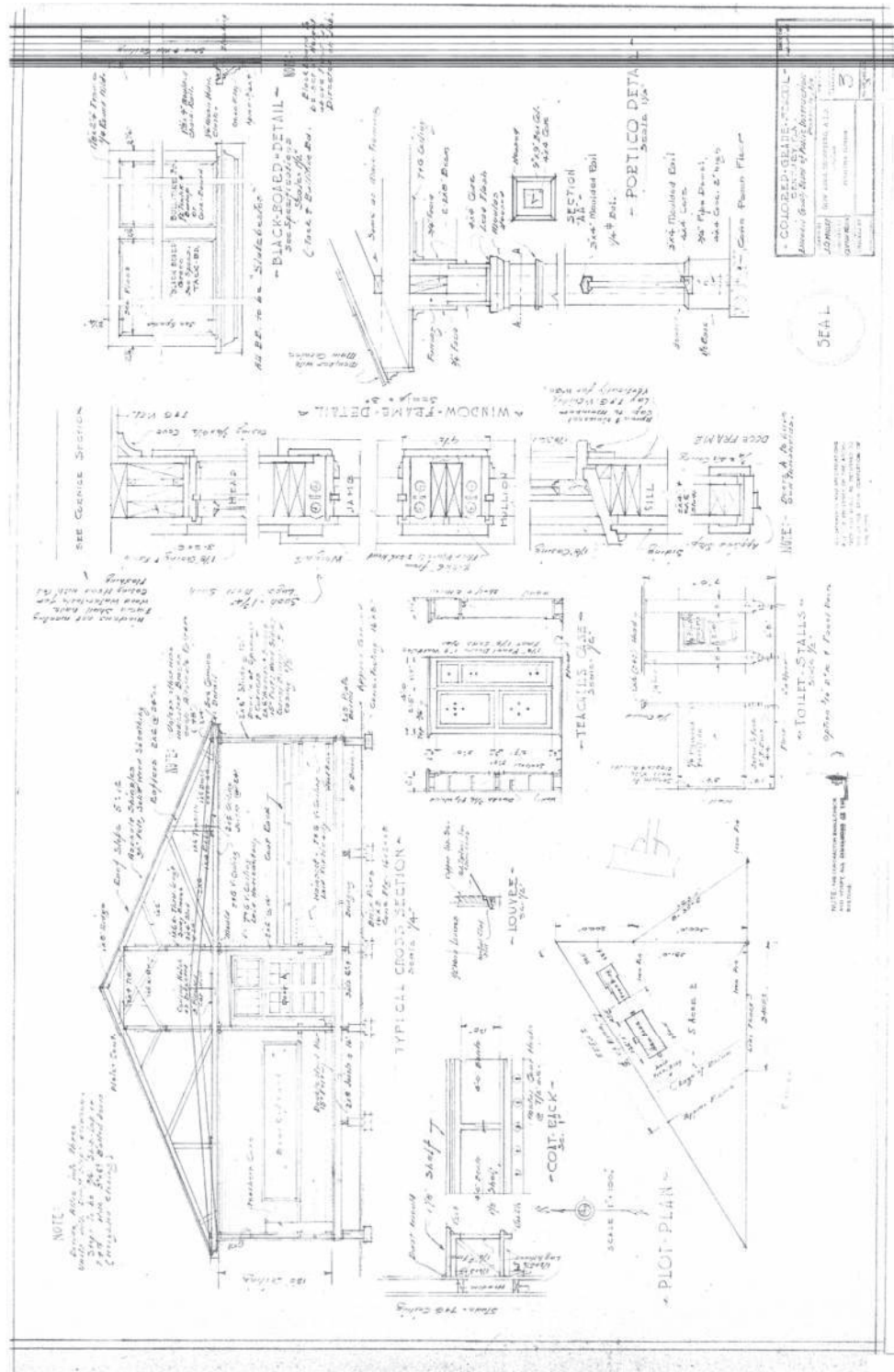
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Total Quality. Assured.

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821 Corporate Court
Waukesha, Wisconsin 53189

Telephone: (717) 767-3786
www.intertek.com/building

EXHIBIT C - NPS-TREATMENT-GUIDELINES-2017-RECONSTRUCTION-RESTORATION

Attached



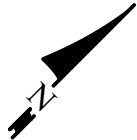
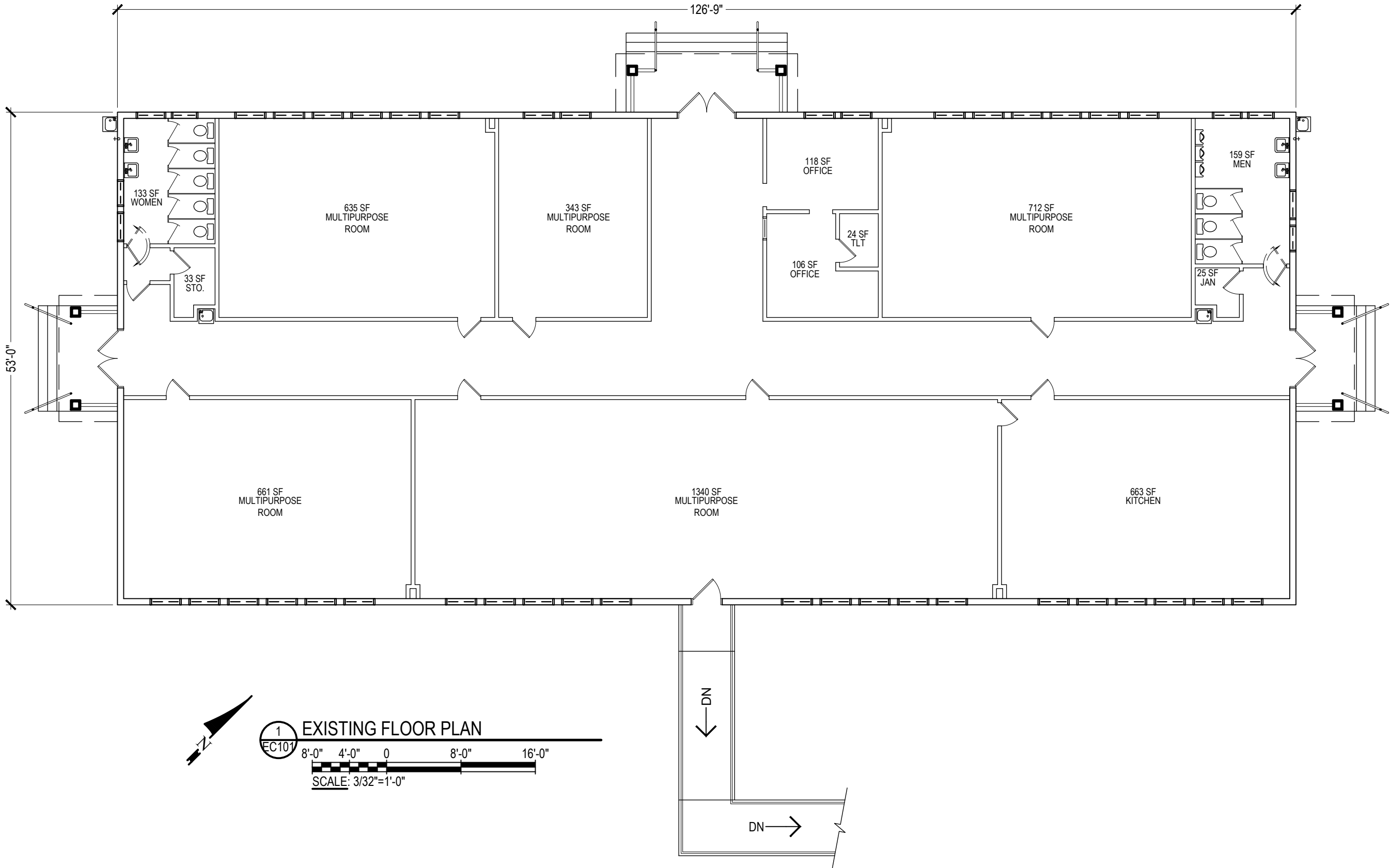
TOWNES + architects, P.A.
5/16/2023

North Elevation



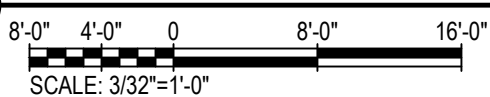
TOWNES + architects, P.A.
5/16/2023

South Elevation



1
EC101

EXISTING FLOOR PLAN



TOWNES + ARCHITECTS, P.A.
ARCHITECTS - PLANNERS
2421 NORTH 12th AVENUE, PENSACOLA, FL 32503
PH: (850) 433-0203 AA-26001051

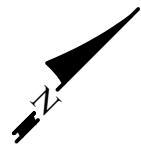
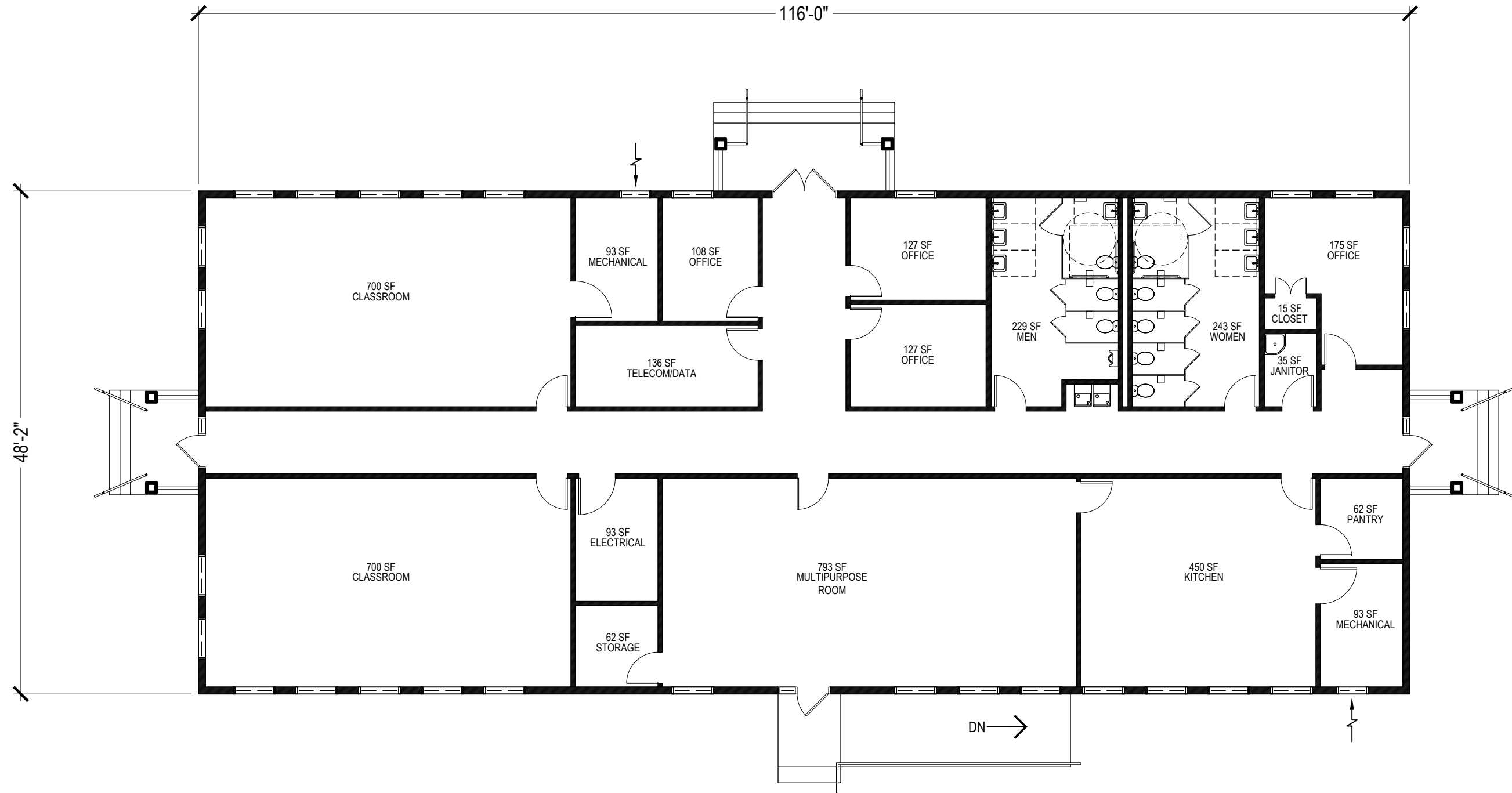
EXISTING FLOOR PLAN

TOWN OF CENTURY
CARVER COMMUNITY CENTER
7040 JEFFERSON AVENUE
CENTURY, FLORIDA

Scale:
AS NOTED

Date:
5-16-2023

EC101
Sheet #



1
A101

FLOOR PLAN



SCALE: 3/32"=1'-0"

AREA: 5590 SF

TOWNES + ARCHITECTS, P.A.
ARCHITECTS - PLANNERS
2421 NORTH 12th AVENUE, PENSACOLA, FL 32503
PH: (850) 433-0203 AA-26001051

SCHEMATIC FLOOR PLAN

TOWN OF CENTURY
CARVER COMMUNITY CENTER
7040 JEFFERSON AVENUE
CENTURY, FLORIDA

Scale:
AS NOTED

Date:
5-16-2023

A101

Sheet #

PROCLAMATION

Declaring May as Community Action Month

WHEREAS, Community Action Agencies have made essential contributions to individuals and families across the nation by creating economic opportunities and strengthening communities; and

WHEREAS, Community Action Agencies are a robust state and local force connecting people to life-changing services and creating pathways to prosperity in 99% of all American Counties; and

WHEREAS, Community Action Agencies build and promote economic stability as an essential aspect of enabling and enhancing communities and stable homes; and

WHEREAS, Community Action Agencies promote community-wide solutions to challenges throughout our cities, suburbs, and rural areas; and

WHEREAS, Community Action delivers innovative services and supports that create greater opportunities for families and children to succeed; and

WHEREAS, Community Action Agencies insist on community participation and involvement ensuring that all sectors of the community have a voice and will be heard; and

WHEREAS, Community Action Program Committee, Inc. is recognized for its hard work, dedication, and leadership in aiding low-income families achieve self-sufficiency since its inception on April 14, 1965.

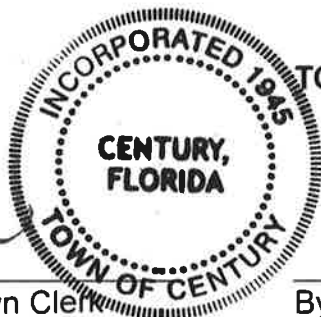
NOW THEREFORE BE IT PROCLAIMED by Benjamin D. Boutwell, Mayor of the Town of Century, together with the Town Council, that we proclaim May 2023 as **"COMMUNITY ACTION MONTH"** in the Town of Century, in recognition of the hard work and dedication of Community Action Program Committee, Inc., and its sister organizations nationwide.

IN WITNESS WHEREOF, I have hereunto set my hand and caused to be affixed the Seal of the Town of Century, Florida on this 16th day of May 2023.

Attest:



By: Leslie Howington, Town Clerk



TOWN OF CENTURY



By: Benjamin D. Boutwell, Mayor